



Links Drive, Bexhill-on-Sea
Offers Over £320,000



39 Links Drive

Bexhill-on-Sea, TN40 1TE

- Charming semi-detached bungalow on favoured 'Penland Wood' development
- Modern kitchen
- Gas central heating & double glazed windows and doors
- No onward chain
- Two/Three Bedrooms
- Easily maintained rear garden with south aspect and useful summer house
- South-facing lounge opening into sun room overlooking the rear garden

Abbott & Abbott Estate Agents offer for sale, with no onward chain, this charming semi-detached bungalow, situated in a most convenient location on the favoured 'Penland Wood' development, within easy reach of the town centre, the Ravenside shopping complex and the beach at Galley Hill. Built in the 1970's, the property offers bright and highly versatile accommodation, with the garage having been converted to a further room suitable for a variety of uses including a third bedroom, a study or separate dining room. The property also provides two further bedrooms, a pleasant lounge opening into a south-facing sun room, a modern kitchen and contemporary shower room. Outside, there is a concrete hardstanding offering off-road parking and an easily maintained, south-facing rear garden with an attractive summer house. Gas central heating is installed and there are uPVC double glazed windows and exterior doors.

Located on the route of the local Town Bus, the property is about a mile from the town centre and about half a mile from the Ravenside shopping complex. The seafront at Galley Hill is also easily accessible, via a nearby footpath.



L-Shaped Entrance Hall

approx 20' in length (approx 6.10m in length)

Lounge 12'6 x 12' (3.81m x 3.66m)

Sun Room 10'8 x 8'7 (3.25m x 2.62m)

Kitchen 11'6 x 8'7 (3.51m x 2.62m)

Bedroom One 16'3 x 7'10 (4.95m x 2.39m)

Bedroom Two 12'7 x 10'6 (3.84m x 3.20m)

Bedroom Three
11'3 plus bay window x 9'10 (3.43m plus bay window x 3.00m)

Shower Room

Off-Road Parking

South Rear Garden

Council Tax Band - C (Rother District Council)

EPC Rating - D







Floor Plans



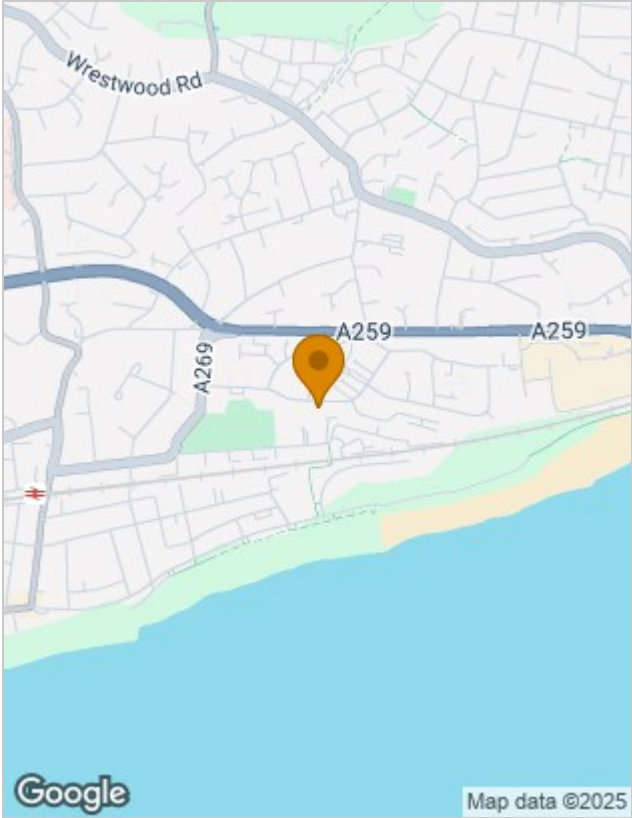
Viewing

Please contact our Sales Office on 01424 212233 if you wish to arrange a viewing appointment for this property or require further information.

The particulars are set out as a general outline only for the guidance of intended purchasers or lessees, and do not constitute, any part of a contract. Nothing in these particulars shall be deemed to be a statement that the property is in good structural condition or otherwise nor that any of the services, appliances, equipment or facilities are in good working order. Purchasers should satisfy themselves of this prior to purchasing.

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Location Map



Energy Performance Graph

